

ARTICLE 10 LANDSCAPE STANDARDS

Sec. 10.01 Intent

The intent of this article is to promote the public health, safety, and welfare by establishing minimum standards for the design, installation and maintenance of landscaping as buffer zones between zoning districts, along roadways, between adjacent buildings, and in parking lots.

The standards of this article are intended to guide and encourage the protection and enhancement of the environment through requirements for site design and the use of landscape materials. Implementation will minimize negative impacts on adjacent land uses including, but not limited to air pollution, glare, violation of privacy, trash and dirt. Applicants are encouraged to provide landscaping in addition to the minimum requirements of this ordinance to improve the function, appearance and value of their property.

Sec. 10.02 Application

The requirements set forth in this article shall apply to all uses for which site plan review is required. No site plan shall be approved unless said site plan provides landscaping consistent with the provisions of this article.

The Planning Commission may grant an exception from the landscaping provisions of this article if the commission determines that dimensional conditions unique to the parcel or existing vegetation or topographic characteristics would prevent development of required buffer zones, off street parking area, landscaping or green belts or make such requirement redundant.

The following are minimum landscape standards and nothing will preclude the developer and Village from agreeing to more stringent standards. If applicable, this determination will be made during site plan review.

A. Landscape Plan Required.

A separate detailed landscape plan shall be submitted as part of a site plan review. The landscape plan shall include, but not be limited to the following items:

1. Minimum scale of one (1) inch to twenty (20) feet. A scale of one (1) inch to fifty (50) feet may be used for parcels over five acres in size.
2. Proposed plant location, spacing, size and species (common and botanical name).
3. Existing and proposed contours on site and 100 feet beyond the site at intervals not to exceed two (2) feet.
4. Straight cross section including slope, height and width of berms and type of ground cover, or height and type of construction of wall or fence, including footings.
5. Significant construction details to resolve specific site conditions, such as tree wells to preserve existing trees or culverts to maintain existing natural drainage patterns.
6. Planting and staking details in either text or drawing form to ensure proper installation and establishment of proposed materials.
7. Identification of existing trees and species proposed to be saved. These trees can, at the discretion of the Planning Commission, be used toward meeting the requirements prescribed herein. Clearly reference on the plan the total number of trees proposed to be preserved and methods thereof.

Sec. 10.03 Minimum Buffer Zones

A. Level of Use

For the purposes of determining the density and type of coverage in the required buffer zone, existing land uses have been classified based on level of use, as follows:

LEVEL OF USE	LAND USES*
Level 1	Single family attached homes
Level 2	Mutli-family homes
Level 3	Offices, churches and similar uses
Level 4	Commercial
Level 5	Industrial

*Where there is a question regarding classification of a land use, the Planning Commission shall make the determination. When a development is proposed adjacent to a vacant lot, the classification shall be based on the principal types of uses allowed on that parcel based on its zoning district.

B. Buffer Zone

A buffer zone shall be provided within the setback between the subject site and all adjacent properties according to Table 9-1 and 9-2. Walls/fences and berms with a height greater than 36 inches shall typically be prohibited along a public street right of way or in a front yard unless specifically approved by the Planning Commission. The height requirement of a wall/fence or berm shall be measured from the existing grade at the principal structure (within 100 feet of the property line) nearest to that property, to the top of the proposed berm or wall on the applicant=s site (see Figure 10-1). All walls/fences shall meet the standards described in Section 10.03.D. Buffers utilizing a combination of plant materials, berming and walls/fences shall be encouraged.

FIGURE 10-1

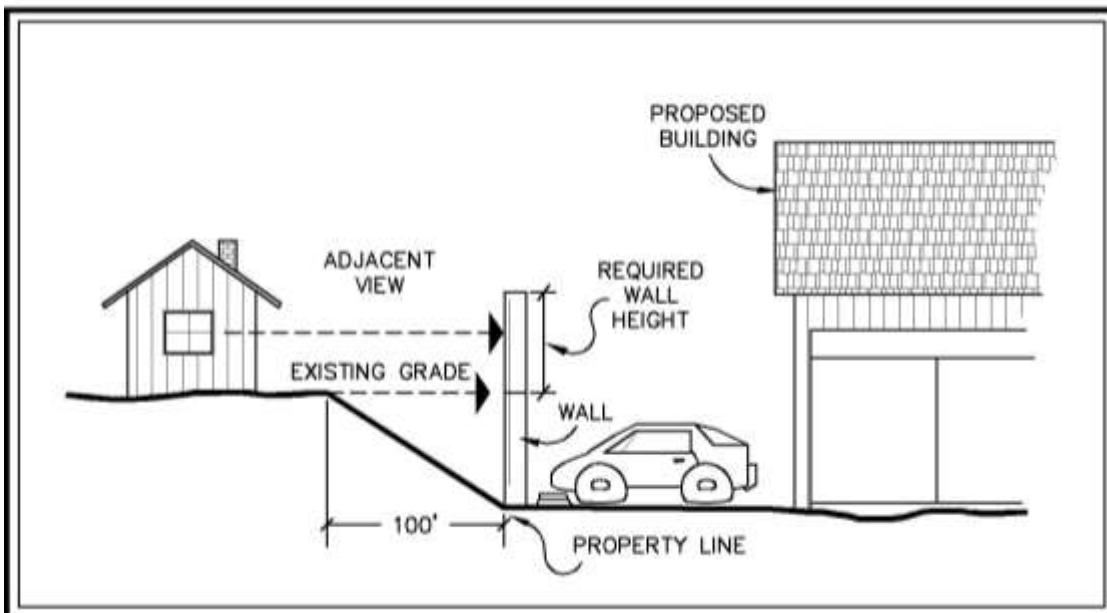


TABLE 10-1, BUFFERING FOR PROPERTY SIDE AND REAR YARDS

LEVEL OF USE OF SUBJECT SITE	LEVEL OF USE OF ADJACENT SITE				
	Level 1*	Level 2*	Level 3	Level 4	Level 5
Level 1	None	None	None	None	None
Level 2	Type II	None	None	None	None
Level 3	Type II or 5 foot high wall/fence/berm	Type I or 5 foot high wall/fence/ berm	None	None	None
Level 4	Type III or 5 foot high wall/fence/berm	Type III or 5 foot high wall/fence/berm	Type I	None	None
Level 5	Type III or 8 foot high wall/ fence/berm	Type III or 8 foot high wall/fence/ berm	Type II	Type II	None

All property line distances shall be rounded upward to the nearest foot. See Fig. 10-2 for buffer type requirements.

*Where the adjacent property, including property across a public street or private road, is zoned or used as single family residential, the Planning Commission may require additional landscaping (trees, shrubs, wall or berm) along the property line or within the site to sufficiently screen the parking lot, vehicle headlights, loading zones, outdoor display areas, storage yards, accessory structures, or use.

*When a land use increases in intensity, the Planning Commission shall review the site plan to determine if additional buffer material is required and to what extent and type.

TABLE 10-2, BUFFER ZONE PLANTINGS

(Minimum Required Plantings per 100sft of buffer zone)					
Type	Width	Coniferous Trees*	Deciduous Trees	Berm	Fence
I	20'	four (4)	no	yes	no
	15'	five (5)	no	no	yes
	10'	six (6)	no	no	yes
II	25'	four (4)	one (1)	yes	no
	20'	five (5)	one (1)	yes	no
	15'	six (6)	two (2)	no	yes
	10'	six (6)	two (2)	no	yes
III	30'	four (4)	one (1)	yes	no
	25'	four (4)	one (1)	yes	no
	20'	five (5)	two (2)	yes	no
	15'	five (5)	three (3)	no	yes

*Ornamental trees and evergreen shrubs can be substituted on a two to one (2:1) ratio up to fifty (50%) of the required material.

C. Parking and Storage

When a parking lot is proposed to be located adjacent to a Res A, Res B, or Res C land a buffer zone is required as follows:

- 5-15 spaces = type I buffer
- 16-30 spaces = type II buffer
- 31+ spaces = type III buffer

This requirement is not in addition to a required buffer zone where both provisions would require buffering along the same lot line.

When a parking lot or entry drive is proposed adjacent to commercial land, a minimum 10 foot green belt is required. This width can be shared between properties as approved by the planning commission.

D. Wall or Fence Standards

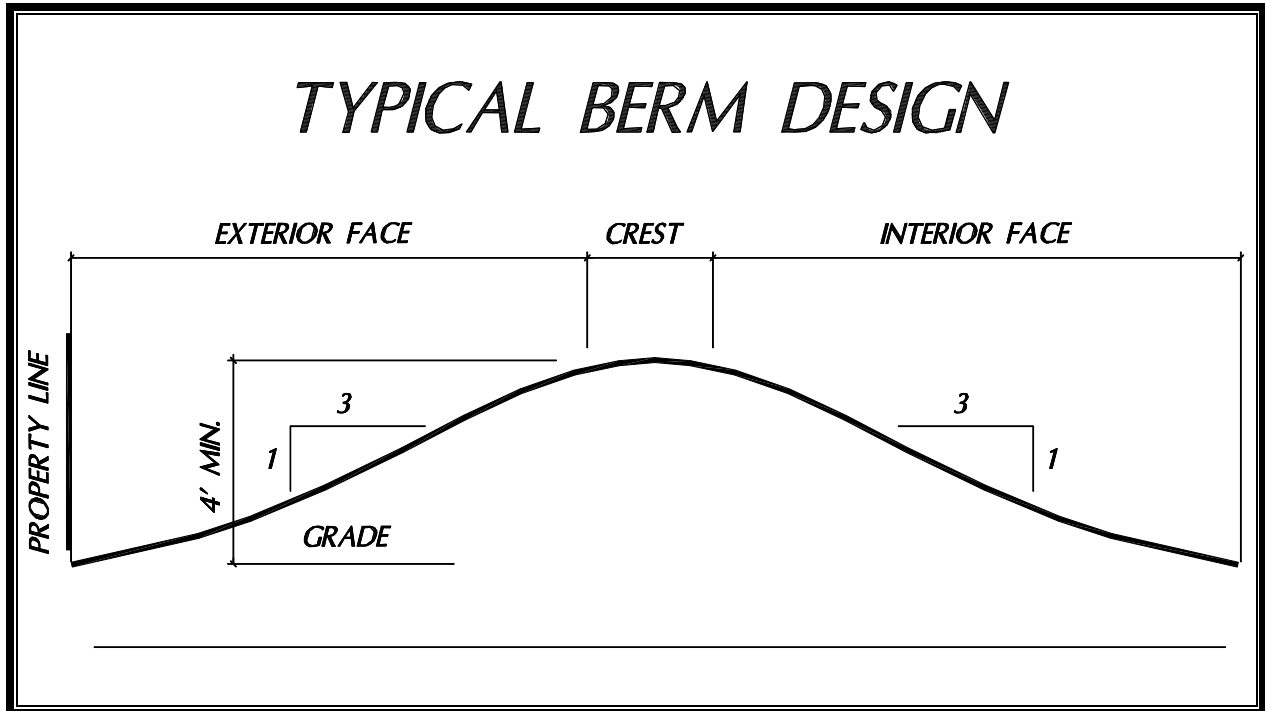
Required walls or fences shall comply with the standards listed below.

1. Walls or fences shall be located so as to offset six inches within the applicant's property except where underground utilities interfere or where this ordinance requires conformance with yard setback lines; as approved by the planning commission.
2. Walls or fences must be maintained in good condition by the property owner.
3. The finished side or most visibly attractive side of a wall or decorative wood fencing shall face the exterior of the property line. Posts shall be on the side of the wall or fence facing the interior of the lot or parcel of land upon which the wall or fence is constructed.
4. Fences in non-residential zoned areas and for the purpose of screening storage or dumpsters shall be opaque in nature, board on board style or solid masonry, six (6) feet in height.
5. No fence, wall or hedge plantings shall exceed a height of three (3) feet within twenty-five (25) feet of any street right-of-way line.
6. Fences, walls or structural screens shall not exceed three (3) feet in any front yard within Res A.
7. Fences, walls or structural screens in a front yard must be chain link or constructed in such a way that they can be seen through for the length of the fence in any residential or agricultural/residential zoning district. Fences, walls or structural screens other than those in front yards, shall not exceed six (6) feet in height in any residential or agricultural/residential zoning district.

E. Berm Standards

Required berms shall be constructed as landscaped earth mounds with a crest area at least three (3) feet in width. The exterior face of the berm shall be constructed as an earthen slope. The interior face of the berm may be constructed as an earthen slope or retained by means of a wall, terrace or other means acceptable to the Zoning Administrator or Planning Commission depending on who has site plan approval. Proper and adequate drainage for adjacent properties shall be maintained. Whenever an earthen slope is provided, it shall be constructed with a slope not to exceed one (1) foot of vertical rise to three (3) feet of horizontal distance (1:3). (See Figure 10-2.) Free form naturalistic contouring and berm shaping is encouraged.

FIGURE 10-2



Sec. 10.04 Green Belts Required Along the Public Right of Way.

A green belt shall be planted adjacent to the right of way of any public street. The green belt plantings shall be planted within the required setback. The Planning Commission may allow such planting to be placed anywhere within the front yard if there is no front yard parking. The green belt shall meet the following standards:

A. Use of Living Material

The green belt shall include only living materials and planting beds, except for approved sidewalks, signs, driveways and essential services.

B. Density of Trees

The green belt shall include one (1) deciduous canopy per thirty (30) linear feet of the frontage including any openings for driveways, sidewalks or easements. This requirement may be reduced or waived by the Planning Commission with the showing of necessity by the applicant.

C. Use of Coniferous Trees

The Planning Commission may approve substitution of coniferous trees for up to fifty percent (50%) of the required green belt trees upon determining evergreens would be consistent with the existing character of the area.

D. Vision Triangle / Emergency Access

Landscaping material arrangement shall ensure adequate site visibility for motorists, adequate clearance for pedestrians and vehicles and accessibility to fire hydrants and other means of ingress/egress, as required by the police chief or building inspector. Plant

materials within the twenty-five (25) foot site distance triangle shall not be more than thirty (30) inches in height. (See Section 3.09)

Sec. 10.05 Parking Lot Landscaping

Parking lots shall be buffered on their perimeter by landscaping meeting the requirements of Section 10.04 of this Ordinance. This provision does not require the “doubling up” of landscaping of parking lots adjacent to a right of way.

Sec. 10.06 Minimum Standards for Installation and Maintenance

A. Installation

Landscaping shall be installed in a sound workman like manner and conform to the American Standard for Nursery Stock ANSI Z60.1. If building or paving construction is completed during a planting season, then no certificate of occupancy will be issued unless the landscaping meets the requirements herein provided. If building or paving construction is completed in an off planting season, the certificate of occupancy will be issued only after the owner provides a performance bond equal to the cost of purchasing and installing material to ensure installation of required landscaping as weather permits.

B. Material Removal

Tree stakes, guy wires and tree wrap are to be removed by the applicant after one year.

C. Maintenance

Greenbelt areas and plant materials required by this ordinance shall be kept free from refuse and debris. Plant materials shall be maintained in a healthy growing condition, neat and orderly in appearance in perpetuity from the time of planting. If any plant material required by this Ordinance dies or becomes diseased, they shall be replaced by the applicant/owner within thirty (30) days of written notice from the Village mailed by certified mail to the owner’s last known address or within an extended time period as specified in said notice.

Should owner fail to repair and/or replace planting material, fences or other barriers within the thirty (30) days and the owner fails to provide reason in writing, via certified letter, as to why he/she is unable or not required to make said improvements, the Village shall make the necessary improvements and assess the owner for all costs associated with or arising from same.

Sec. 10.07 Enforcement

A violation of any provision of this section or non-compliance with written notifications pertaining to this section shall constitute a violation of this Ordinance.

Sec. 10.08 Plant Material Specifications

All plant material shall be free of disease and insects at time of planting and conform to the American Standard for Nursery Stock of the American Association of Nurserymen ANZI Z60.1. No petrochemical or other non-living material shall be used.

Ground surfaces within the buffer zone shall be a maintained lawn, perennial ground cover and/or attractive mulch (stone, gravel or wood chips) of sufficient depth to prevent the growth of weeds. Mulch shall be properly contained.

A. Suggested Plant Materials

1. Coniferous Trees: Minimum four (4) feet in height, Red Cedar, White Cedar, Fir, Spruce, Hemlock, Pine, Fir.
2. Conifer shrubs: Minimum three (3) gallon pot: juniper, yew.
3. Ornamental Trees: five (5) feet in height or 2" caliper, Flowering Crab, Mountain Ash, Redbud Hornbeam, Magnolia, Dogwood, Rose of Sharon, Hawthorn, Serviceberry.
4. Large Deciduous Shrubs: Minimum six (6) feet in height, Honeysuckle, Mock-Orange, Lilac, Cotoneaster, Euonymus, Viburnum, Forsythia, Ninebark, Hazelnut, Privet, Sumac.
5. Deciduous Trees: Minimum eight (8) feet in height or 1.5 inch caliper. Oak, Hackberry, Planetree (Sycamore), Sweet Gum, Linden, Maple, Ginkgo (male species), Birch, Honey Locust, Ash.
6. Trees and shrubs should be selected that can tolerate our climatic zone, as well as the stresses particular to the site (existing shade, salt tolerance, heat or scorch resistance, etc.).

B. Required Plant Material Spacing

1. Plant material shall be placed so the drip line shall be no closer than two (2) feet from the fence line or property line when plants are two-thirds of mature size.
2. Where plant materials are planted in two (2) or more rows, planting shall be staggered.
3. Trees shall be planted not more than thirty (30) feet on center.
4. Ornamental trees shall be planted not more than ten (10) feet on center.
5. Large deciduous shrubs shall be planted not more than four (4) feet on center.
6. Natural grouping of material is encouraged.

C. Prohibited Trees

The following trees are not permitted to be used to meet the landscaping requirements of this article as they split easily, their wood is brittle and breaks easily, they bear fruit or seed pods that can stain vehicles, drives and sidewalks and they are unusually susceptible to disease or insect pests.

1. Common Names
 - a. Boxelder
 - b. Horse Chestnut
 - c. Hickories
 - d. Catalpa
 - e. Black Walnut
 - f. Mulberry
 - g. Poplars
 - h. Willows
 - i. American Elm
 - j. Ash